CONSTRUCTION DOCUMENTS:

BUILDING IMPROVEMENTS - SUMMER 2023

304 N. MAIN STREET
LINDENWOOD, ILLINOIS 61049

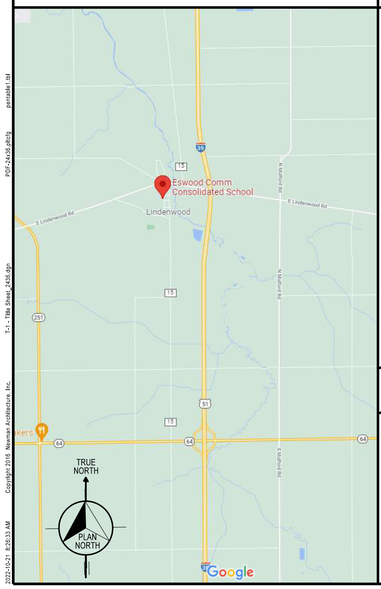
FOR

BOARD OF EDUCATION - ESWOOD CCSD #269

SYMBOLS/MATERIALS

- 310 — ROOM NUMBER
- L08B — DOOR NUMBER
- 15 — KEY NOTES
- 1 B — WINDOW TYPE
- 1 — REVISION
- X — PARTITION TYPE
- A — COLUMN CENTERLINES
- 10'-10" — CEILING HEIGHTS
- 3 A5-6 — BUILDING SECTION
- 3 A5-6 — SECTION
- VERTICAL ELEVATION
- A8-1 X — INTERIOR ELEVATION
- 3 A7-1 — DETAIL
- NEW WALL
- DEMO WALL
- EXISTING WALL
- BRICK
- CONCRETE MASONRY UNIT
- CONCRETE
- STEEL
- WOOD BLOCKING
- RIGID INSULATION
- PLYWOOD
- GYPSUM BOARD
- BATT INSULATION
- [PT-1] OR PT-X — FINISH MATERIAL; REFER TO ROOM FINISH SCHEDULE
- LX — LINTEL

LOCATION MAP



GENERAL INFORMATION

PARTICIPATING ORGANIZATIONS:

OWNER:	BOARD OF EDUCATION, ESWOOD CCSD #269	
OWNER REPRESENTATIVE:	DR. JAMES HAMMACK, SUPERINTENDENT	(815) 943-4477
ARCHITECT:	newman architecture	(630) 420-1600
PROJECT ARCHITECT:	CHARLES R. NEWMAN, A.I.A., N.C.A.R.B.	
PROJECT MANAGER:	ELIZABETH A. MONRY	
M-E-P ENGINEER:	AMSCO ENGINEERING	(630) 515-1555
PROJECT MANAGER:	DAN MCCURDY	

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES:

- UPDATE TOILET ROOM FINISHES AND FIXTURES
- REPLACE UNIT VENTILATORS AND ADD AIR-CONDITIONING FOR CLASSROOMS
- UPDATE CORRIDOR FLOOR FINISHES

CODE INFORMATION

THE FOLLOWING CODES ARE CURRENTLY IN USE BY THE LOCAL CODE ENFORCING AUTHORITY AT THE TIME OF PERMIT REVIEW. COMPLY WITH THE MOST STRINGENT PROVISIONS OF THESE CODES IN ADDITION TO SPECIAL REQUIREMENTS ADOPTED BY THE LOCAL BUILDING DEPARTMENT HAVING JURISDICTION AS OF THE DATE "ISSUED FOR PERMIT" NOTED ON THESE DRAWINGS.

ILLINOIS ADMINISTRATIVE CODE PART 180 INCLUDING EXCEPTIONS TO THE FOLLOWING CODES:

2015 INTERNATIONAL BUILDING CODE

2015 INTERNATIONAL EXISTING BUILDING CODE

2015 INTERNATIONAL FIRE PREVENTION CODE, EXCLUDING CHAPTER 4

ILLINOIS ACCESSIBILITY CODE, CURRENT EDITION

ILLINOIS ENERGY CODE AND
2018 INTERNATIONAL ENERGY CONSERVATION CODE

ILLINOIS STATE PLUMBING CODE, CURRENT EDITION

2015 INTERNATIONAL MECHANICAL CODE

2015 INTERNATIONAL FUEL GAS CODE

2014 NATIONAL ELECTRIC CODE

BUILDING INFORMATION

OCCUPANCY OR USE GROUP:	E-EDUCATIONAL
CONSTRUCTION CLASSIFICATION:	TYPE IIB
SPRINKLER STATUS:	PARTIALLY SPRINKLERED
FIRE ALARM STATUS:	EXISTING FIRE ALARM SYSTEM
BUILDING AREA:	24,243 SF ± - EXISTING - NO CHANGE
BUILDING HEIGHT:	(1 STORY) - EXISTING - NO CHANGE

GENERAL NOTES

GENERAL NOTES

1. THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201, ENTITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2007 EDITION, IS HEREBY MADE A PART OF THESE CONSTRUCTION DOCUMENTS IN ITS ENTIRETY, TO THE SAME EXTENT AS IF REPEATED VERBATIM HEREIN.
2. THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A101, ENTITLED "STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR (STIPULATED SUM)", 2007 EDITION, WILL FORM THE BASIS FOR THE OWNER-CONTRACTOR AGREEMENT.
3. FOR THE PURPOSE OF THE OWNER-CONTRACTOR AGREEMENT AND REFERENCES TO THE OWNER OR TENANT THROUGHOUT THE CONSTRUCTION DOCUMENTS, THE OWNER AND TENANT ARE THE SAME. THE PROPERTY MANAGER IS THE OWNER'S REPRESENTATIVE
4. THE GENERAL CONTRACTOR SHALL MAINTAIN INSURANCE WHICH LISTS THE OWNER, TENANT, THE ARCHITECT, THEIR EMPLOYEES AND THEIR AGENTS, AS ADDITIONAL INSURED PARTIES. THE CONTRACTOR SHALL GIVE EACH OF THE ADDITIONAL INSURED PARTIES A MINIMUM OF 10 DAYS PRIOR WRITTEN NOTICE OF ANY ALTERATION OR TERMINATION OF COVERAGE DURING CONSTRUCTION OPERATIONS. MAINTAIN MINIMUM COVERAGE IN COMPLIANCE WITH OWNER-CONTRACTOR CONTRACT REQUIREMENTS.
5. THE GENERAL CONTRACTOR SHALL PROCURE AND PAY FOR ALL PERMITS, LICENSING, AND INSPECTION FEES REQUIRED BY THE WORK.
6. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COORDINATION OF RESPONSIBILITIES OF EACH TRADE. NOTES CONTAINED HEREIN SHALL NOT BE CONSTRUED TO DEFINE THE CONTRACTUAL RELATIONSHIP BETWEEN THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS.
7. IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS TO INCLUDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, READY FOR OCCUPANCY BY THE TENANT. WHERE A QUESTION EXISTS REGARDING EXTENT OF THE RESPONSIBILITY OF THE CONTRACTOR, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.
8. PRIOR TO SUBMITTING A PROPOSAL, CONTRACTORS SHALL REVIEW THE COMPLETE SET OF CONSTRUCTION DOCUMENTS AND VISIT THE SITE TO ESTABLISH THE WORK REQUIRED BY EACH TRADE.
9. ARCHITECTURAL DRAWINGS INCLUDE IMPORTANT INFORMATION FOR ALL TRADES. EACH TRADE SHALL REVIEW ALL DRAWINGS TO DETERMINE THE COMPLETE SCOPE OF WORK FOR THEIR TRADE.
10. DO NOT SCALE DRAWINGS.
11. EACH CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO SUBMITTING A PROPOSAL AND AGAIN DURING THE PREPARATION OF SHOP DRAWINGS, ETC. SUBMISSION OF SHOP DRAWINGS BY THE GENERAL CONTRACTOR TO THE ARCHITECT IS THE CONTRACTOR'S CERTIFICATION TO THE TENANT THAT THE GENERAL CONTRACTOR HAS VERIFIED THE ACCURACY OF THE SUBMITTAL AND HAS COORDINATED ALL RELATED ITEMS OF THE SUBMITTAL WITH THE FIELD CONDITIONS, DESIGN INTENT, AND BETWEEN TRADES.
12. THE ARCHITECT IS NOT AWARE OF ANY HAZARDOUS BUILDING MATERIALS IN THE AREA OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL REVIEW THE PROJECT WITH THE BUILDING OWNER'S REPRESENTATIVE AND SHALL BECOME AWARE OF THE LOCATION AND EXTENT OF ANY SUSPECTED HAZARDOUS BUILDING MATERIALS IN THE AREA OF CONSTRUCTION. IF DURING DEMOLITION OR CONSTRUCTION OPERATIONS ENVIRONMENTALLY HARMFUL MATERIALS ARE DISCOVERED OR SUSPECTED THAT MAY BE DISTURBED BY THE CONTRACTOR'S WORK, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF THE RELATED WORK. ENVIRONMENTALLY HAZARDOUS MATERIALS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION MUST BE REMOVED OR ENCAPSULATED BY A PROFESSIONAL LICENSED BY GOVERNMENTAL AUTHORITIES HAVING JURISDICTION, FOR HANDLING THE SPECIFIC MATERIALS INVOLVED, UNDER A SEPARATE CONTRACT.
13. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS ENCOUNTERED FOR CLARIFICATION.
14. THE CONTRACTOR SHALL DELIVER ALL WRITTEN SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S LITERATURE, ETC. TO THE ARCHITECT IN ELECTRONIC (PDF) FORMAT VIA E-MAIL. ALL SAMPLES SHALL BE PHYSICALLY DELIVERED TO THE ARCHITECT FOR EVALUATION. RESPONSES TO SAMPLE SUBMITTALS WILL BE RETURNED BY THE ARCHITECT IN PDF FORMAT.
15. THE GENERAL CONTRACTOR SHALL FURNISH A COMPLETE SET OF CLOSE-OUT DOCUMENTS, IN PDF FORMAT, TO THE ARCHITECT UPON COMPLETION OF THE WORK. PAY PARTICULAR ATTENTION TO IDENTIFYING THE LOCATIONS OF BUILDING COMPONENTS REQUIRING FUTURE SERVICE. INCLUDE LOCATIONS OF ACCESS TO DUCTWORK, PIPING, AND RACEWAYS, ETC. PROVIDE NEW TYPEWRITTEN DIRECTORIES IN ELECTRICAL PANELS IDENTIFYING ALL NEW AND MODIFIED ELECTRICAL CIRCUITS. CLOSE-OUT DOCUMENTS SHALL INCLUDE, BUT ARE NOT LIMITED TO: ACCEPTED SUBMITTALS, ALL REQUIRED WARRANTIES, MAINTENANCE AND OPERATION MANUALS, SPECIAL INSPECTION REPORTS, FINAL CODE-ENFORCEMENT AUTHORITY SIGN OFFS, RECORD DRAWINGS INCLUDING NOTATIONS OF LOCATIONS OF ALL DEVICES/EQUIPMENT REQUIRING REGULARLY SCHEDULED MAINTENANCE OR DEVICE LOCATIONS NEEDED FOR TEMPORARY SHUT-OFF FOR EMERGENCY OR MAINTENANCE SERVICE, COPIES OF ALL TESTS, TESTING AND BALANCING REPORTS, COMPLETED "UNCOMPLETED ITEMS" LISTS PREPARED BY THE ARCHITECT, THE ARCHITECT'S CONSULTANTS AND THE OWNER WITH SIGN-OFFS, ETC.
16. THE CONTRACTOR SHALL NOT SUBSTITUTE MATERIALS OR EQUIPMENT WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ARCHITECT.
17. ANY ALTERATION WORK AFFECTING EXISTING SYSTEMS UNDER WARRANTY MUST BE PERFORMED IN COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, SO AS NOT TO VOID EXISTING WARRANTIES.
18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COMPLETION OF ALL DEMOLITION WORK NECESSARY TO COMPLETE THE WORK. DEMOLITION INFORMATION INDICATED ON THE DRAWINGS OR OTHERWISE PROVIDED ON DRAWINGS GENERALLY DESCRIBES THE INTENT OF THE DEMOLITION WORK REQUIRED. THE CONTRACTOR IS EXPECTED TO VISIT THE SITE AND EVALUATE EXISTING CONDITIONS PRIOR TO PREPARING HIS PROPOSAL. INCLUDE ALL DEMOLITION WORK NECESSARY TO ALLOW FOR CONSTRUCTION AS INDICATED IN THE DRAWINGS. WHERE A QUESTION REGARDING EXTENT OF DEMOLITION WORK EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING A PROPOSAL.
19. PROTECTION OF ALL EXISTING BUILDING SURFACES TO REMAIN IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE TO EXISTING BUILDING SURFACES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED AT HIS EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN "AS-NEW" CONDITION.
20. CONTRACTOR SHALL PROVIDE MANUFACTURER'S DOCUMENTATION FOR ALL MATERIALS USED IN FIRE-RATED ASSEMBLIES.

STANDARDS

1. EACH CONTRACTOR SHALL PROVIDE ALL WORK IN CONFORMANCE WITH FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS HAVING LAWFUL JURISDICTION INCLUDING THE CURRENT EDITION OF THE ACCESSIBILITY CODE AND "ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES" BY THE FEDERAL DEPARTMENT OF JUSTICE.
2. EACH CONTRACTOR SHALL INSTALL MATERIALS IN ACCORDANCE WITH APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS AND COMPLY WITH GOVERNING INDUSTRY REGULATIONS AND STANDARDS APPLICABLE TO THE WORK.
3. EACH CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING AS REQUIRED TO COMPLETE HIS WORK.
4. ALL NEW CONSTRUCTION SHALL BE SUPPORTED FROM STRUCTURAL FRAMING MEMBERS AND SHALL BE INSTALLED IN SUCH A MANNER AS TO NOT OVERLOAD THE EXISTING STRUCTURE BEYOND ITS ORIGINAL DESIGN CAPACITY. DO NOT HANG NEW CONSTRUCTION FROM EXISTING METAL DECK, DUCTWORK, SERVICE PIPE, ETC. RUN PIPING PARALLEL WITH BUILDING WALLS AND CONSTRUCTION AND AVOID CONFLICT WITH OTHER BUILDING SERVICES.
5. NO CONDUIT, PIPING, DUCTWORK, ETC. SHALL BE RUN EXPOSED WITHOUT THE PRIOR ACCEPTANCE OF THE ARCHITECT, UNLESS SPECIFICALLY CALLED OUT AS SUCH ON THE CONSTRUCTION DOCUMENTS. IN AREAS OF EXPOSED CEILING CONSTRUCTION, RUN CABLE, CONDUIT, PIPE, DUCTWORK, ETC. IN A MANNER THAT OFFERS THE BEST POSSIBLE APPEARANCE. WHERE THESE REQUIREMENTS ARE UNCLEAR, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING.
6. EACH CONTRACTOR SHALL REPAIR DAMAGE TO EXISTING CONSTRUCTION TO REMAIN CAUSED BY HIS OPERATIONS AT HIS OWN EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN "AS-NEW" CONDITION, MATCH ADJACENT, UNDAMAGED FINISHES.

PROPERTY MANAGER CRITERIA

1. THE GENERAL CONTRACTOR SHALL COORDINATE ACCEPTABLE TIME FOR THE USE OF UTILITIES, ELEVATORS, ACCEPTABLE ENTRANCES OF WORKERS, ETC. WITH THE PROPERTY MANAGER PRIOR TO THE COMMENCEMENT OF THE WORK. DAILY WORKING HOURS SHALL BE AS DICTATED BY THE PROPERTY MANAGER. ANY DISRUPTIONS TO UTILITIES (ELECTRICAL, WATER, ETC.) SHALL BE COORDINATED 48 HOURS PRIOR TO SCHEDULED DISRUPTION.
2. POSSESSION OF ALCOHOL OR ILLEGAL DRUGS WILL NOT BE PERMITTED WITHIN THE BUILDING OR WITHIN BOUNDARIES OF THE LANDLORD'S PROPERTY. SMOKING IS NOT PERMITTED INSIDE THE BUILDING. SMOKING MAY BE PERMITTED OUTSIDE THE BUILDING, ONLY IF AND WHERE ALLOWED BY THE PROPERTY MANAGER.
3. COMPLY WITH ALL CONSTRUCTION REQUIREMENTS PROVIDED BY THE PROPERTY MANAGER.

COORDINATION

1. THE GENERAL CONTRACTOR SHALL PROVIDE COORDINATION BETWEEN TRADES TO FACILITATE JOB COMPLETION IN AN EFFICIENT AND TIMELY MANNER.
2. EACH CONTRACTOR SHALL VERIFY THAT PRECEDING WORK IS CORRECT BEFORE COMMENCEMENT OF DEPENDENT WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

TEMPORARY FACILITIES

1. VENTILATION: PORTIONS OF THE BUILDING'S NORMAL VENTILATION SYSTEM MAY OPERATE DURING CONSTRUCTION. WHERE CONSTRUCTION RESULTS IN ABOVE-NORMAL LEVELS OF DUST BEING INTRODUCED INTO THE AIR (SUCH AS DEMOLITION OF DRYWALL CONSTRUCTION, ETC.), CONSTRUCT DUST BARRIERS AROUND THE AREA OF CONSTRUCTION AND PROVIDE TEMPORARY FILTERED RETURN AIR GRILLES TO PREVENT CONSTRUCTION DUST FROM ENTERING INTO THE VENTILATION SYSTEM. REPLACE THE FILTER(S) AS REQUIRED TO MAINTAIN AN ADEQUATE AIR FLOW AND MINIMIZE THE AMOUNT OF CONSTRUCTION DUST ENTERING THE SYSTEM. COVER ALL SUPPLY AND RETURN OPENINGS AT GRILLES AND IN DUCTWORK OF PORTIONS OF THE SYSTEM NOT OPERATING TO AVOID ENTRY OF CONTAMINANTS INTO DUCTWORK TO BE REUSED. PROTECT AIR INLETS AND DISCHARGES FROM CONSTRUCTION DEBRIS THROUGHOUT PERIOD OF CONSTRUCTION. IF UNITS BECOME CONTAMINATED WITH CONSTRUCTION DEBRIS DURING PERIOD OF CONSTRUCTION, CLEAN UNITS TO SATISFACTION OF THE OWNER AND TENANT. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SUPPLEMENTAL VENTILATION AS REQUIRED BY CONSTRUCTION OPERATIONS.
2. HEAT: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTOR TO USE EXISTING HEATING AND VENTILATION EQUIPMENT AS LONG AS THE CONTRACTOR COMPLIES WITH THE REQUIREMENTS IN "VENTILATION" ABOVE. IF THE CONTRACTOR DOES NOT COMPLY WITH THE REQUIREMENTS NOTED ABOVE, OR IF NO EXISTING EQUIPMENT IS OPERATIONAL, THE CONTRACTOR SHALL PROVIDE TEMPORARY HEAT AS REQUIRED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR UTILITY CHARGES.
3. TELEPHONE: SERVICES DESIRED BY THE CONTRACTOR SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR.
4. CONSTRUCTION WATER: THE PROPERTY MANAGER AND TENANT WILL ALLOW CONTRACTORS TO USE THE EXISTING FACILITIES. CONTRACTOR WILL NOT BE RESPONSIBLE FOR UTILITY CHARGES.
5. SANITARY: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTOR TO USE EXISTING TOILET FACILITIES AND WILL PAY WATER UTILITY FEES. ABUSIVE USE OF TOILET FACILITIES OR IF NO EXISTING TOILET FACILITIES ARE FUNCTIONAL, THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT HIS EXPENSE. THE LOCATION OF TEMPORARY TOILET FACILITIES WILL REQUIRE THE APPROVAL OF THE PROPERTY MANAGER. DO NOT CLEAN BRUSHES, TOOLS OR CONSTRUCTION IN TOILET ROOMS.
6. ELECTRICAL: THE PROPERTY MANAGER AND TENANT WILL ALLOW THE CONTRACTORS TO USE THE EXISTING ELECTRICAL SERVICE. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR ELECTRICAL UTILITY CHARGES. ALL TEMPORARY POWER AND LIGHTING SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE REMOVED PRIOR TO OCCUPANCY BY THE TENANT.
7. SECURITY: THE GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE LOCKED, SECURED AND WATER-TIGHT AT THE END OF EACH WORK DAY. ANY CONTRACTOR REQUIRED TO CREATE NEW OPENINGS IN PERIMETER WALLS OR ROOFING SYSTEMS OR REMOVE WINDOWS OR DOORS SHALL SECURE THOSE OPENINGS AT THE END OF EACH WORK DAY. PROVIDE A LOCKABLE AND WEATHER-PROOF DOOR, WINDOW OR BARRICADE TO SECURE THE BUILDING. TEMPORARY INFILL OR COVERINGS SHALL BE VANDAL-PROOF AND WATER-TIGHT. ANY DAMAGE DUE TO VANDALISM OR WATER INFILTRATION WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. PROVIDE TEMPORARY DUST/SOUND BARRIERS THROUGHOUT THE PERIOD OF CONSTRUCTION AS REQUIRED TO PROTECT ADJACENT OCCUPIED AREAS FROM CONSTRUCTION NOISE AND DEBRIS.

SAFETY

1. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL PROJECT SAFETY, INCLUDING, BUT NOT LIMITED TO, SAFETY PROGRAMS AND THE SAFETY AND PROTECTION FROM ALL EQUIPMENT, OPERATIONS, STORAGE FACILITIES AND DUMPSTERS, AND SHALL HOLD THE OWNER, TENANT, ARCHITECT AND THEIR EMPLOYEES HARMLESS FROM ALL LIABILITIES RESULTING THEREFROM.
2. PRESERVE THE FIRE SAFETY INTEGRITY OF EXISTING FACILITIES DURING CONSTRUCTION OPERATIONS.
   - A. ENSURE FIRE EXITS PROVIDE FREE, UNOBSTRUCTED EGRESS.
   - B. ENSURE FIRE ALARM, DETECTION, LIFE SAFETY NOTIFICATION AND SUPPRESSION SYSTEMS ARE FULLY OPERATIONAL OR APPROPRIATE TEMPORARY PROTECTION MEASURES ACCEPTABLE TO THE LOCAL CODE/FIRE PROTECTION AUTHORITY ARE IMPLEMENTED THROUGHOUT PERIOD OF CONSTRUCTION.
3. PROVIDE TEMPORARY BARRICADES AS REQUIRED TO WARN OF UNSAFE AREAS OF CONSTRUCTION, AS JUDGED BY THE GENERAL CONTRACTOR.

FIRESTOPPING REQUIREMENTS

1. PENETRATIONS THROUGH RATED FLOOR, WALL OR ROOF ASSEMBLIES SHALL BE FIRESTOPPED WITH THRU-PENETRATION FIRESTOPPING ASSEMBLIES THAT MATCH THE FIRE RATING OF THE WALLS OR FLOORS BEING PENETRATED AND ARE CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECTED TO THE TEST METHODS SPECIFIED FOR FIRE STOPS, IN COMPLIANCE WITH ASTM E-814.
2. EXISTING SPRAY-ON FIREPROOFING, INTUMESCENT PAINT, OR FIRE PROTECTION CONSTRUCTION PROTECTING STRUCTURAL MEMBERS, DECK OR FIRE-RATED ASSEMBLIES THAT IS REMOVED OR DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR TO MATCH OR EXCEED EXISTING PROTECTION IN COMPLIANCE WITH CODE.

DEFINITIONS

1. ACCEPTED: THE TERMS "ACCEPTED", "APPROVED", "REQUIRED", AND "AS DIRECTED" REFER TO AND INDICATE WORK OR MATERIALS THAT MAY BE ACCEPTED, APPROVED, OR REQUIRED BY THE OWNER.
2. CODE: THE TERMS "CODE" AND "BUILDING CODE" REFER TO REGULATIONS BY GOVERNMENTAL AGENCIES HAVING LAWFUL JURISDICTION.
3. CONTRACTORS OR THE CONTRACTOR: REFERS TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS, SUPPLIERS AND ALL OTHERS EMPLOYED DIRECTLY OR INDIRECTLY BY THE GENERAL CONTRACTOR TO COMPLETE THE WORK REQUIRED BY THIS CONTRACT.
4. PROVIDE: FURNISH AND INSTALL COMPLETE IN PLACE, TESTED AND APPROVED, READY FOR USE.
5. SHOWN: THE TERMS "SHOWN", "INDICATED", "DETAILED", "NOTED", "SCHEDULED", AND TERMS OF SIMILAR CHARACTER REFER TO REQUIREMENTS CONTAINED IN THE CONTRACT DOCUMENTS.
6. SIMILAR: THE TERM IS USED IN ITS GENERAL SENSE, AND DOES NOT NECESSARILY MEAN IDENTICAL. THE DETERMINATION OF SIMILARITY OF PRODUCTS OR APPLICATIONS IS SUBJECT TO THE APPROVAL OF THE OWNER.

CLEANING

1. DUMPSTERS: CONTRACTOR SHALL VERIFY ACCEPTABLE LOCATIONS OF DUMPSTER(S) WITH THE PROPERTY MANAGER. PROTECT TURF, LANDSCAPING, PAVEMENT, ETC. DURING USE AS REQUIRED. REPAIR ANY DAMAGE CAUSED BY STORAGE OR TRANSPORT OF DUMPSTERS TO THE AREA'S PRIOR CONDITION.
2. CLEANING: THE GENERAL CONTRACTOR SHALL CLEAN THE WORK SPACE AT THE END OF EACH WORK DAY TO A "BROOM CLEAN" CONDITION. REMOVE DEMOLISHED MATERIALS AND REFUSE TO THE CONTRACTOR'S COVERED DUMPSTER OR LEGALLY REMOVE FROM THE SITE.
3. FINAL CLEAN: UPON COMPLETION OF MODIFICATIONS NOTED HEREIN, THE CONTRACTOR SHALL PROVIDE A FINAL CLEAN OF ALL SURFACES IMPACTED BY THE WORK. THE CONTRACTOR SHALL EMPLOY A COMMERCIAL GRADE CLEANING COMPANY, EXPERIENCED WITH FACILITIES OF THIS TYPE AND SIZE, FOR FINAL CLEANING OPERATIONS. THE FINAL CLEAN SHALL INCLUDE ALL CLEANING, WAXING, BUFFING, SEALING, ETC. PER SURFACE MANUFACTURER'S RECOMMENDATIONS FOR HIGH-TRAFFIC AREAS, AS REQUIRED, READY FOR THE BUSINESS OF THE TENANT.

MAINTENANCE MATERIALS

THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER THE FOLLOWING MAINTENANCE MATERIALS, FROM THE SAME MANUFACTURER LOT USED IN CONSTRUCTION, ENCLOSED IN PROTECTIVE PACKAGING WITH APPROPRIATE IDENTIFYING LABELS:

- A. MECHANICAL FILTERS: FURNISH QUANTITY EQUAL TO NOT LESS THAN 2% OF EACH FILTER TYPE FOR NEW EQUIPMENT INSTALLED OR MODIFIED.

PROJECT SPECIFIC NOTES

1. COORDINATE ANY AVAILABLE ON-SITE TEMPORARY STORAGE FACILITIES AVAILABLE WITH THE PROPERTY MANAGER. THE CONTRACTOR SHALL PROVIDE ALL ADDITIONAL TEMPORARY STORAGE FACILITIES REQUIRED TO PERFORM THE WORK AT HIS EXPENSE.
2. THE CONTRACTOR SHALL TEMPORARILY MOVE ALL FURNISHINGS AND EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. OWNER'S STAFF WILL MOVE/STORE FILES AND PERSONAL BELONGINGS ONLY.
3. THE CONTRACTOR SHALL PHASE THE WORK AS REQUIRED TO ALLOW THE OWNER'S OPERATIONS TO CONTINUE DURING CONSTRUCTION. INCLUDE ALL PREMIUM TIME IN THE BIDDER'S BASE PROPOSAL PRIOR TO FACILITATE TEMPORARY TERMINATION AND REACTIVATION OF SERVICES TO SPACES IN USE DURING CONSTRUCTION.

DRAWING NAMING KEY

XX-X

- FLOOR LEVEL OR NUMERIC ORDER OF DRAWING WITHIN DRAWING TYPE
- DRAWING TYPE
- PROFESSIONAL DISCIPLINE

DRAWING INDEX

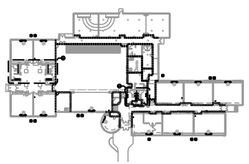
GENERAL INFORMATION
- T GENERAL PROJECT INFORMATION
  - T-1 TITLE SHEET / GENERAL PROJECT INFORMATION
  - T-2 CODE MATRIX, EGRESS PLAN, OCCUPANCY COUNT AND PLUMBING FIXTURE COUNT

ARCHITECTURAL
- A1 DEMOLITION PLANS
  - A1-1 DEMOLITION PLAN
- A2 FLOOR PLANS
  - A2-1 FLOOR PLAN, PARTITION TYPES AND DETAILS
- A3 ENLARGED PLANS AND DETAILS
  - A3-1 ENLARGED TOILET ROOM PLAN, INTERIOR ELEVATIONS AND DETAILS
- A7 CEILINGS
  - A7-1 REFLECTED CEILING PLAN
- A8 INTERIOR FINISH PLANS, FINISH SCHEDULES, CABINETRY DETAILS AND DOOR SCHEDULES
  - A8-0 DOOR SCHEDULE, DOOR AND FRAME TYPES, AND DETAILS
  - A8-1 FINISH PLAN AND FINISH SCHEDULE
- A9 CABINETRY DETAILS AND INTERIOR ELEVATIONS
  - A9-1 CABINETRY DETAILS
  - A9-2 INTERIOR ELEVATIONS
- A10 FURNITURE AND EQUIPMENT
  - A10-1 FURNITURE AND EQUIPMENT PLAN, SIGNAGE AND DETAILS

PLUMBING
- P0 GENERAL PLUMBING INFORMATION
  - P0-0 PLUMBING ABBREVIATIONS, SYMBOLS, SCHEDULES AND SHEET INDEX
- P1 PLUMBING DEMOLITION PLANS
  - P1-1 PLUMBING DEMOLITION PLANS
- P2 PLUMBING BELOW FLOOR PLANS
  - P2-1 FIRST FLOOR BELOW FLOOR PLUMBING PLANS
- P3 PLUMBING ABOVE FLOOR PLANS
  - P3-1 FIRST FLOOR ABOVE FLOOR PLUMBING PLANS
- P5 PLUMBING SPECIFICATIONS
  - P5-1 PLUMBING SPECIFICATIONS

MECHANICAL
- M0 GENERAL MECHANICAL INFORMATION AND PLANS
  - M0-0 MECHANICAL SYMBOLS, ABBREVIATIONS AND SHEET INDEX
- M1 MECHANICAL DEMOLITION PLANS
  - M2-1 FIRST FLOOR MECHANICAL DEMOLITION PLAN
- M2 MECHANICAL PLANS
  - M2-1 FIRST FLOOR MECHANICAL PLAN
- M5 MECHANICAL SCHEDULES AND SPECIFICATIONS
  - M5-1 MECHANICAL SCHEDULES AND SPECIFICATIONS

ELECTRICAL
- E0 GENERAL ELECTRICAL INFORMATION AND DEMOLITION PLAN
  - E0-0 ELECTRICAL SYMBOLS, ABBREVIATIONS AND SHEET INDEX
- E1 ELECTRICAL DEMOLITION PLANS
  - E1-1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN
- E2 ELECTRICAL POWER PLANS
  - E2-1 FIRST FLOOR ELECTRICAL FLOOR PLAN
- E3 ELECTRICAL LIGHTING PLAN
  - E3-1 FIRST FLOOR ELECTRICAL LIGHTING PLAN
- E6 ELECTRICAL DETAILS
  - E6-1 ELECTRICAL DETAILS AND SCHEDULES
- E7 ELECTRICAL SPECIFICATIONS
  - E7-1 ELECTRICAL SPECIFICATIONS



PLAN NORTH — TRUE NORTH

KEY PLAN
SCALE: 1:1000

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(630) 420-1600 FAX (630) 420-1987 www.newmanarchitecture.com

Participating Consultants:

Project Name:

CONSTRUCTION DOCUMENTS
ESWOOD SCHOOL

BUILDING IMPROVEMENTS - SUMMER 2023

ESWOOD ELEMENTARY SCHOOL
304 N. MAIN STREET
LINDENWOOD, ILLINOIS 61049

FOR
BOARD OF EDUCATION
ESWOOD CCSD 269

Architect's Certification:

License: Illinois Professional Design Firm License No. 184-000549
Expires: 2023-04-30

License: Illinois Registration No. 001-009496
Expires: 2022-11-30

Signature — Date: 2022-10-20

I hereby certify that these plans were prepared by or under my direct supervision and to the best of my professional knowledge they conform to the Accessibility Code and local building codes having jurisdiction.

The following drawings have been prepared under my direct supervision:

T-1, A2-1a

Drawing Title:

TITLE SHEET/
GENERAL PROJECT INFORMATION

Issue/ Revision:

No.	Date	Description
-	2022-10-20	For Client Review

Project Manager: CRN
Project No.: 2022027 Date: 2022-10-20

T-1

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DRAWING A1-1 KEYED NOTES

D1 REMOVE PLUMBING FIXTURES

REMOVE EXISTING PLUMBING FIXTURES SHOWN DASHED, INCLUDING ALL FIXTURE ACCESSORIES. TEMPORARILY CAP EXISTING PLUMBING AND PREPARE CONNECTIONS FOR NEW PLUMBING FIXTURES. WHERE PLUMBING WILL NOT BE RECONNECTED, REMOVE SERVICES BACK TO THEIR SOURCE PER CODE. REMOVED ITEMS NOT SCHEDULED TO BE REINSTALLED AND NOT DESIRED BY OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR. SEE ALSO PLUMBING DRAWINGS.

D2 REMOVE FLOOR FINISHES

REMOVE EXISTING FLOORING AND WALL BASE IN SHADED AREAS, INCLUDING ADHESIVES AND GROUT. PREPARE AND CLEAN EXISTING SUB-FLOOR OR SLAB, READY TO RECEIVE NEW FINISHES PER FLOORING MANUFACTURER'S RECOMMENDATIONS. PATCH AND REPAIR WALLS TO REMAIN, READY TO RECEIVE NEW WALL BASE.

D3 CARPET ON VAT

CARPET IN THIS AREA WAS PREVIOUSLY INSTALLED ON VAT WITH QUICK RELEASE ADHESIVE. REMOVE CARPET IN THIS SHADED AREA. IF EXISTING TILE IS DISTURBED BY REMOVAL OPERATIONS, CONTACT THE SCHOOL DISTRICT'S ENVIRONMENTAL ENGINEER FOR DISPOSAL INSTRUCTIONS.

D4 REMOVE UNIT VENTILATORS

REMOVE EXISTING UNIT VENTILATORS SHOWN DASHED. TEMPORARILY CAP EXISTING SERVICES FOR RECONNECTION TO NEW UNIT VENTILATORS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL DEMOLITION NOTES

1. DEMOLITION ITEMS AND/OR AREAS INDICATED ON THIS DRAWING ARE MINIMUM INDICATIONS TO SHOW BASIS OF DESIGN. ADDITIONAL DEMOLITION THAT IS NOT SHOWN HERE MAY BE REQUIRED FOR THE WORK INCLUDED IN THIS PROJECT.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO START OF HIS OPERATIONS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF AN DISCREPANCIES ENCOUNTERED.
3. EACH CONTRACTOR SHALL INCLUDE ALL DEMOLITION IN THE PROJECT REQUIRED TO FULLY EXECUTE THE WORK. NO EXTRA COMPENSATION WILL BE ALLOWED FOR DEMOLITION WORK THAT COULD HAVE BEEN ANTICIPATED AT THE TIME OF BID.
4. IF DURING DEMOLITION OR CONSTRUCTION OPERATIONS ENVIRONMENTALLY HARMFUL MATERIALS ARE DISCOVERED OR SUSPECTED THAT MAY BE DISTURBED BY THE CONTRACTOR'S WORK, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO COMMENCEMENT OF THE RELATED WORK. ENVIRONMENTALLY HAZARDOUS MATERIALS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION MUST BE REMOVED OR ENCAPSULATED BY A PROFESSIONAL LICENSED BY GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. FOR HANDLING THE SPECIFIC MATERIALS INVOLVED, UNDER A SEPARATE CONTRACT.
5. PROTECT ALL EXISTING FINISHES, MATERIALS, OR EQUIPMENT AS REQUIRED TO PREVENT DAMAGE TO ITEMS WHICH ARE TO REMAIN. ANY DAMAGE SHALL BE PATCHED, REPAIRED, OR REPLACED AT CONTRACTOR'S EXPENSE. REPLACEMENT CONSTRUCTION SHALL BE TO AN "AS-NEW" CONDITION. MATCH ADJACENT, UNDAMAGED MATERIALS AND FINISHES.
6. NOTE ON THE DRAWINGS THOSE ITEMS TO BE RETAINED. VERIFY THAT THE LANDLORD/TENANT HAS REMOVED ALL ITEMS THEY WISH TO RETAIN. ALL OTHER ITEMS SHALL BE LEGALLY REMOVED FROM SITE. ITEMS NOTED ON THE DRAWINGS TO BE REMOVED, REINSTALLED, OR STORED SHALL BE HANDLED AS FOLLOWS:

   REMOVE: UNLESS NOTED OTHERWISE, ITEMS SHALL BE LEGALLY REMOVED FROM THE SITE.

   REMOVE AND REINSTALL: SALVAGE ITEMS AND ALL ASSOCIATED SUPPORT SYSTEMS AND ACCESSORIES IN THEIR ENTIRETY, AND TEMPORARILY WRAP, PROTECT AND STORE. CLEAN AND REPAIR TO "LIKE-NEW" CONDITION PRIOR TO REINSTALLATION. REINSTALL ITEMS PER MANUFACTURER'S RECOMMENDATIONS.

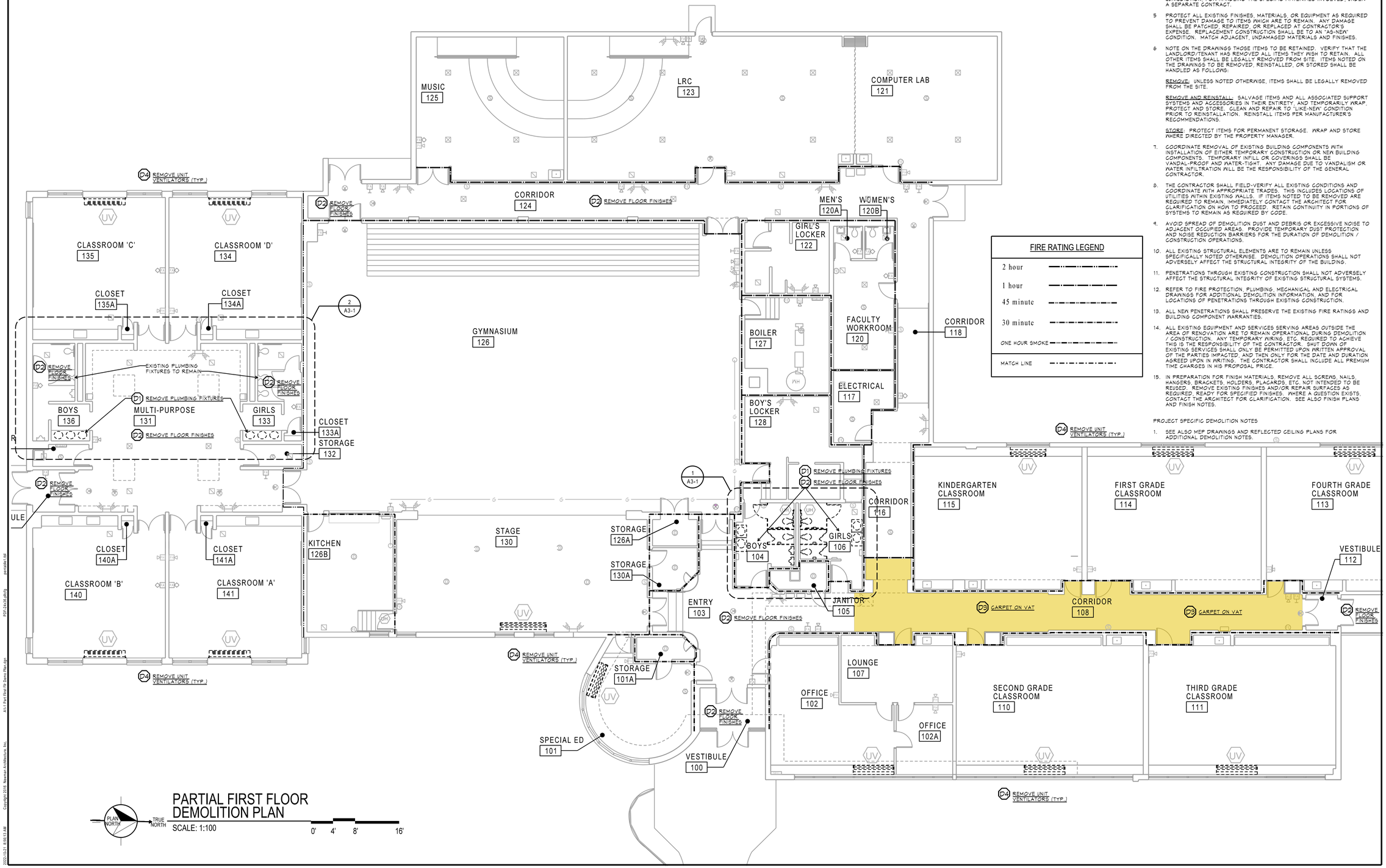
   STORE: PROTECT ITEMS FOR PERMANENT STORAGE. WRAP AND STORE WHERE DIRECTED BY THE PROPERTY MANAGER.
7. COORDINATE REMOVAL OF EXISTING BUILDING COMPONENTS WITH INSTALLATION OF EITHER TEMPORARY CONSTRUCTION OR NEW BUILDING COMPONENTS. TEMPORARY INFILL OR COVERINGS SHALL BE VANDAL-PROOF AND WATER-TIGHT. ANY DAMAGE DUE TO VANDALISM OR WATER INFILTRATION WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS AND COORDINATE WITH APPROPRIATE TRADES. THIS INCLUDES LOCATIONS OF UTILITIES WITHIN EXISTING WALLS. IF ITEMS NOTED TO BE REMOVED ARE REQUIRED TO REMAIN, IMMEDIATELY CONTACT THE ARCHITECT FOR CLARIFICATION ON HOW TO PROCEED. RETAIN CONTINUITY IN PORTIONS OF SYSTEMS TO REMAIN AS REQUIRED BY CODE.
9. AVOID SPREAD OF DEMOLITION DUST AND DEBRIS OR EXCESSIVE NOISE TO ADJACENT OCCUPIED AREAS. PROVIDE TEMPORARY DUST PROTECTION AND NOISE REDUCTION BARRIERS FOR THE DURATION OF DEMOLITION / CONSTRUCTION OPERATIONS.
10. ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE. DEMOLITION OPERATIONS SHALL NOT ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
11. PENETRATIONS THROUGH EXISTING CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF EXISTING STRUCTURAL SYSTEMS.
12. REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION, AND FOR LOCATIONS OF PENETRATIONS THROUGH EXISTING CONSTRUCTION.
13. ALL NEW PENETRATIONS SHALL PRESERVE THE EXISTING FIRE RATINGS AND BUILDING COMPONENT WARRANTIES.
14. ALL EXISTING EQUIPMENT AND SERVICES SERVING AREAS OUTSIDE THE AREA OF RENOVATION ARE TO REMAIN OPERATIONAL DURING DEMOLITION / CONSTRUCTION. ANY TEMPORARY WIRING, ETC. REQUIRED TO ACHIEVE THIS IS THE RESPONSIBILITY OF THE CONTRACTOR. SHUT DOWN OF EXISTING SERVICES SHALL ONLY BE PERMITTED UPON WRITTEN APPROVAL OF THE PARTIES IMPACTED, AND THEN ONLY FOR THE DATE AND DURATION AGREED UPON IN WRITING. THE CONTRACTOR SHALL INCLUDE ALL PREMIUM TIME CHARGES IN HIS PROPOSAL PRICE.
15. IN PREPARATION FOR FINISH MATERIALS, REMOVE ALL SCREWS, NAILS, HANGERS, BRACKETS, HOLDERS, PLACARDS, ETC. NOT INTENDED TO BE REUSED. REMOVE EXISTING FINISHES AND/OR REPAIR SURFACES AS REQUIRED, READY FOR SPECIFIED FINISHES. WHERE A QUESTION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION. SEE ALSO FINISH PLANS AND FINISH NOTES.

PROJECT SPECIFIC DEMOLITION NOTES

1. SEE ALSO MEP DRAWINGS AND REFLECTED CEILING PLANS FOR ADDITIONAL DEMOLITION NOTES.

FIRE RATING LEGEND

- 2 hour
- 1 hour
- 45 minute
- 30 minute
- ONE HOUR SMOKE
- MATCH LINE



PARTIAL FIRST FLOOR DEMOLITION PLAN

SCALE: 1:100

0' 4' 8' 16'

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(630) 420-1600 FAX (630) 420-1987 www.newmanarchitecture.com

Project Name:

CONSTRUCTION DOCUMENTS

ESWOOD SCHOOL

BUILDING IMPROVEMENTS - SUMMER 2023

ESWOOD ELEMENTARY SCHOOL
304 N. MAIN STREET
LINDENWOOD, ILLINOIS 61049

FOR
BOARD OF EDUCATION
ESWOOD CCSD 269

Architect's Certification:

NOT FOR CONSTRUCTION

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Expires: 2023-04-30
License: Illinois Registration No. 001-009496
Expires: 2022-11-30

Signature Date 2022-10-20

Drawing Title:

PARTIAL FIRST FLOOR DEMOLITION PLAN

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Project No.: 2022027 Date: 2022-10-20

A1-1

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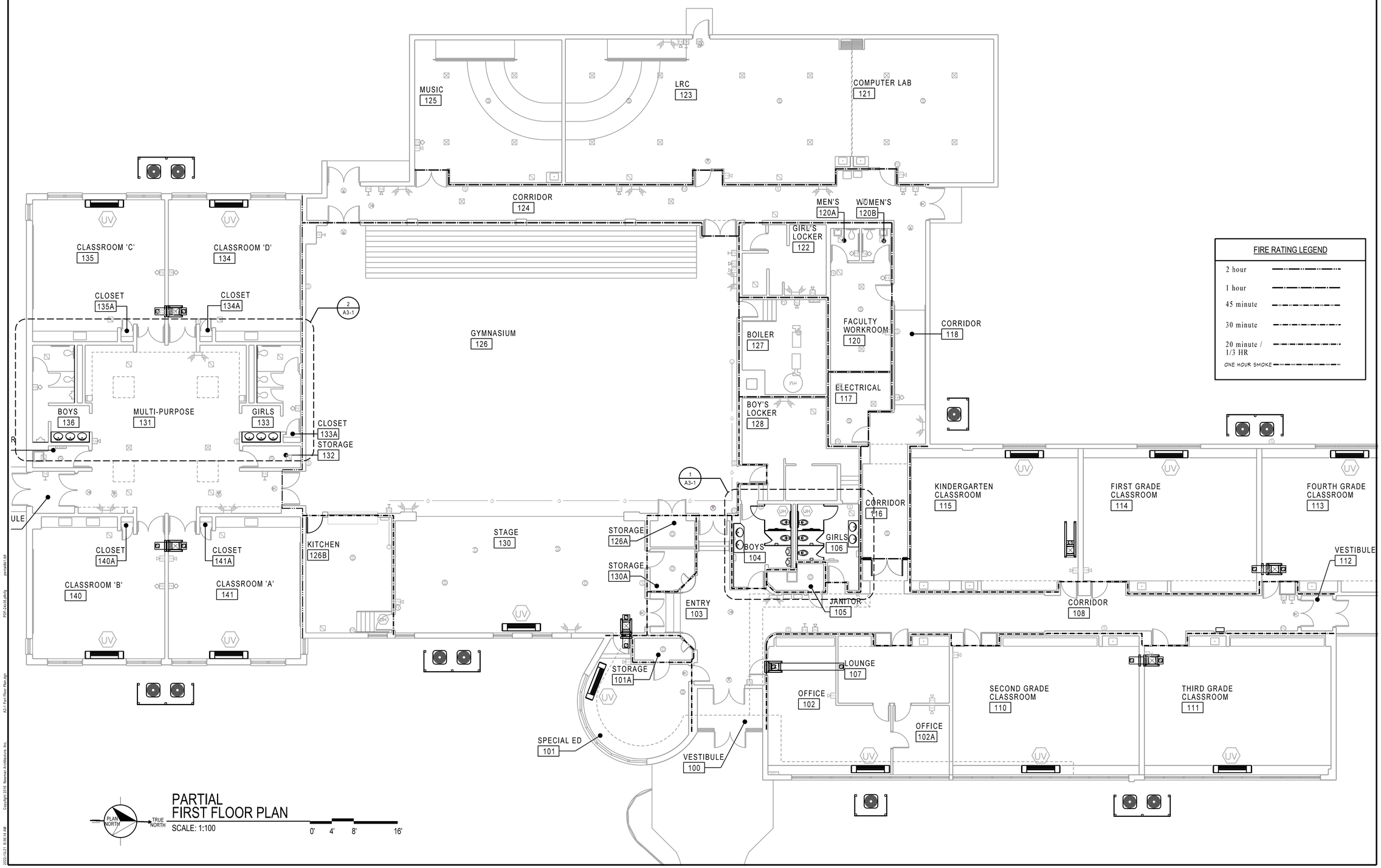

PARTIAL
FIRST FLOOR PLAN
SCALE: 1:100

FIRE RATING LEGEND
2 hour
1 hour
45 minute
30 minute
20 minute / 1/3 HR
ONE HOUR SMOKE

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License: Illinois Registration No. 001-009496
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Drawing Title:
PARTIAL FIRST FLOOR PLAN

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-	2022-03-14	For Client Review

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A2-1

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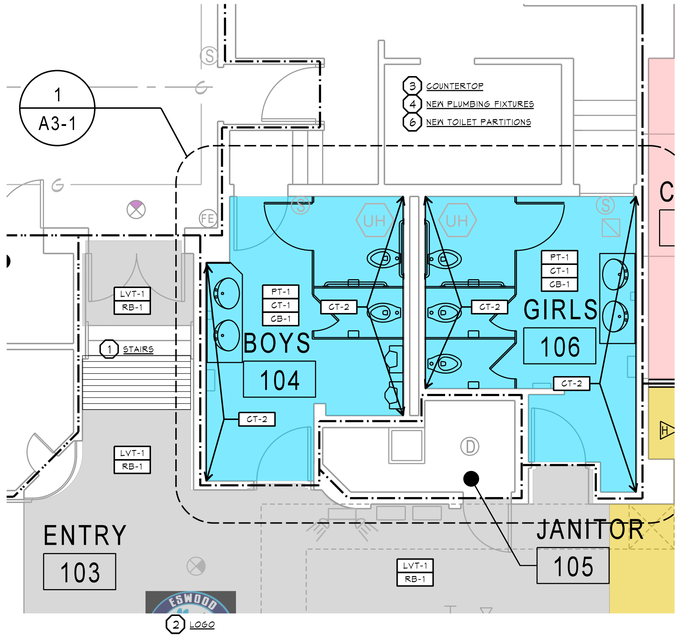
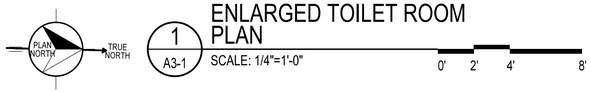




ENLARGED TOILET ROOM PLAN

DRAWING A3-1 KEYED NOTES

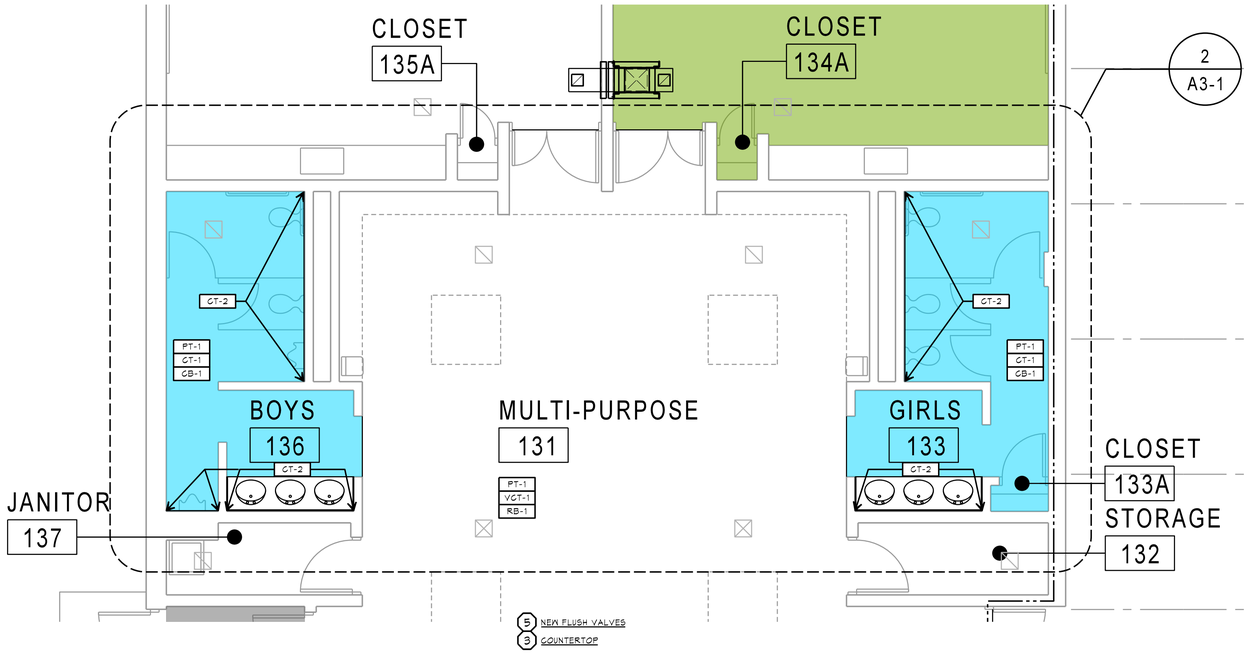
1. STAIRS
   TACTILE STAIR TREADS, NOSINGS, AND WARNING SURFACES SHALL REMAIN.
2. LOGO
   INSERT 5' x 5' SCHOOL LOGO PLUSH WITH FINISHED FLOORING. ARTWORK WILL BE PROVIDED BY OWNER.
3. COUNTERTOP
   PROVIDE NEW COUNTERTOP [SS-1] AND UNDER MOUNT SINKS. SEE ALSO PLUMBING DRAWINGS.
4. NEW PLUMBING FIXTURES
   REPLACE EXISTING PLUMBING FIXTURES WITH NEW PLUMBING FIXTURES. SEE PLUMBING DRAWINGS
5. NEW FLUSH VALVES
   REPLACE EXISTING PLUMBING FLUSH VALVES WITH NEW TOUCH-FREE FLUSH VALVES. SEE PLUMBING DRAWINGS
6. NEW TOILET PARTITIONS
   REPLACE EXISTING TOILET PARTITIONS WITH NEW TOILET PARTITIONS. SEE TOILET ACCESSORY SCHEDULE.

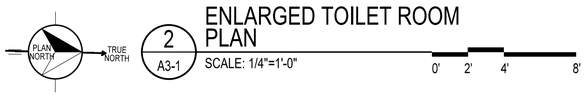
FINISH SCHEDULE

TAG	LOCATION	MFG.	PATTERN/COLOR	SIZE	REMARKS
ACT-1	ALL AREAS	ARMSTRONG	TILE: SCHOOL ZONE FUNE FISSURED MODEL: 1714 COLOR: WHITE GRID: 15/16"	24" x 48"	NON-DIRECTIONAL SAG RESISTANT CEILING TILE 30-YEAR WARRANTY
CB-1	TOILET ROOMS	DALTILE	SERIES: COLORWHEEL COLLECTION - CLASSIC COLOR: 1174 SEA BREEZE FINISH: GLOSS GROUT: MAPEI 101 RAIN	3" x 6"	INSTALLATION: SUBWAY OFFSET PROVIDE SCHLUTER DILEX-AHKA COVE-SHAPED TRIM BETWEEN WALL TILE AND FLOOR TILE. FINISH: SATIN ANODIZED ALUMINUM. MATCH KINDERGARTEN TOILET ROOM.
CT-1	TOILET ROOMS FLOOR TILE	DALTILE	TYPE: COVED BASE STYLE: REMINISCENT COLOR: SOUVENIR GRAY RM22 FINISH: MATTE GROUT: MAPEI 101 RAIN	12 " x 12"	INSTALLATION: RUNNING BOND
CT-2	TOILET ROOMS WALL TILE - WET WALLS	DALTILE	SERIES: COLORWHEEL COLLECTION - CLASSIC COLOR: 1174 SEA BREEZE FINISH: GLOSS GROUT: MAPEI 101 RAIN	3" x 6"	INSTALLATION: SUBWAY OFFSET
C-1 CARPET TILE	CORRIDORS				
C-2 WALK-OFF SURFACE	VESTIBULES				
LVT-1 VINYL TILE	CLASSROOMS & MULTI-PURPOSE ROOM				
PT-1	PRIMARY WALL COLOR	SHERWIN WILLIAMS	FINISH: SEMI-GLOSS NUMBER/COLOR: OFF WHITE	-	
PT-9	INTERIOR HM DOORS & FRAMES - CORRIDORS	SHERWIN WILLIAMS	FINISH: SEMI-GLOSS NUMBER/COLOR: ??	-	
PT-10	GYPSUM BOARD CEILINGS, BULKHEADS AND SOFFITS	SHERWIN WILLIAMS	FINISH: FLAT NUMBER/COLOR: #SW7007 CEILING BRIGHT WHITE	-	
RB-1		JOHNSONITE	MATERIAL: RUBBER TYPE: COVED AT LVT TYPE: STRAIGHT AT CARPET COLOR: DARK BROWN 44	4"	
RVS-1	RIGID VINYL SHEET	INPRO	TYPE: RIGID VINYL SHEET ITEM #: 406 GAUGE: 1.5MM (1/16") COLOR: 0103 White Sand	4' x 8' x 1/16"	INCLUDE ALL TRIM & ACCESSORIES FOR A COMPLETE FINISHED SYSTEM INSTALLATION.
SS-1 COUNTERTOP	TOILET ROOMS		TYPE: SOLID SURFACE		

ABBREVIATIONS

ACT - ACOUSTIC CEILING TILE
VCT - VINYL COMPOSITIO9N FLOOR TILE
PT - PAINT
WN - WINDOW COVERINGS
RB - RUBBER BASE
RVS - RIGID VINYL SHEET
SC - SEALED CONCRETE





ENLARGED TOILET ROOM PLAN

GENERAL FINISH PLAN NOTES

1. SEE DRAWING A8-1 FOR ADDITIONAL GENERAL FINISH NOTES.

CERAMIC TILE NOTES

1. CONTRACTOR SHALL VERIFY THAT SUBSTRATES FOR SETTING TILE ARE FIRM, DRY, CLEAN, FREE OF COATINGS THAT ARE INCOMPATIBLE WITH TILE-SETTING MATERIALS (INCLUDING CURING COMPOUNDS AND OTHER SUBSTANCES THAT CONTAIN SOAP, WAX, OIL, OR SILICONE), AND COMPLY WITH FLATNESS TOLERANCES REQUIRED BY ANSI A108.01 FOR INSTALLATIONS INDICATED. VERIFY THAT CONCRETE SUBSTRATES FOR CERAMIC TILE COMPLIES WITH SURFACE FINISH REQUIREMENTS IN ANSI A108.01 FOR INSTALLATION.
2. CONTRACTOR SHALL INSTALL CERAMIC TILE PER TILE COUNCIL OF NORTH AMERICA, INC. (TCNA)'S "HANDBOOK FOR CERAMIC, GLASS, AND STONE TILE INSTALLATION" FOR JOB SPECIFIC APPLICATION AND MATERIALS. COMPLY WITH PARTS OF ANSI A108 SERIES "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" THAT ARE REFERENCED IN TCNA INSTALLATION METHODS, AND APPLY TO TYPES OF SETTING AND GROUTING MATERIALS USED.
3. PROVIDE BULLNOSE TRIM OR MANUFACTURER RECOMMENDED SCHLUTER TRIM AT EXPOSED EDGES AS REQUIRED FOR FINISHED APPEARANCE.
4. PROVIDE CRACK ISOLATION MEMBRANE OVER EXPANSION JOINTS THAT MAY TELEGRAPH MOVEMENT THROUGH THE FLOOR FINISH.
5. PROVIDE TILE MANUFACTURER RECOMMENDED EXPANSION JOINTS AT EXPANSION JOINTS THAT MAY TELEGRAPH MOVEMENT THROUGHT THE TILE FINISH.
6. CLEANING: ON COMPLETION OF PLACEMENT AND GROUTING, CLEAN ALL CERAMIC TILE SURFACES SO THEY ARE FREE OF FOREIGN MATTER. REMOVE GROUT RESIDUE FROM TILE AS SOON AS POSSIBLE. CLEAN GROUT SMEARS AND HAZE FROM TILE ACCORDING TO TILE AND GROUT MANUFACTURER'S WRITTEN INSTRUCTIONS, BUT NO SOONER THAN 10 DAYS AFTER INSTALLATION. USE ONLY CLEANERS RECOMMENDED BY TILE AND GROUT MANUFACTURERS AND ONLY AFTER DETERMINING THAT CLEANERS ARE SAFE TO USE BY TESTING ON SAMPLES OF TILE AND OTHER SURFACES TO BE CLEANED. PROTECT METAL SURFACES AND PLUMBING FIXTURES FROM THE EFFECTS OF CLEANING. FLUSH SURFACES WITH CLEAN WATER BEFORE AND AFTER CLEANING.

GENERAL PAINT NOTES

1. CONTRACTOR SHALL FIELD VERIFY EXTENT OF PAINTING AND COLORS REQUIRED. SUBMIT DRAW-DOWNS OF EACH COLOR TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
2. SURFACES NOTED TO BE PAINTED, AS WELL AS FLOORS AND ADJACENT SURFACES, SHALL BE CLEAN. MILDEW, EFFLORESCENCE, AND ALL FOREIGN MATERIAL SHALL BE REMOVED FROM SURFACES BY APPROPRIATE METHODS. PREPARE SURFACES PER MANUFACTURER'S RECOMMENDATIONS.
3. PRIME ALL UNFINISHED SURFACES SCHEDULED TO RECEIVE WALLCOVERING OR PAINT PRIOR TO FINISHING AS RECOMMENDED BY MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR EACH SUBSTRATE.
4. CONTRACTOR SHALL APPLY ALL PAINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. ALL COATS MUST BE THOROUGHLY DRY BEFORE APPLYING SUCCEEDING COATS. USE APPLICATIONS AND TECHNIQUES BEST SUITED FOR SUBSTRATE AND TYPE OF MATERIAL BEING APPLIED. PROVIDE TOTAL NUMBER OF COATS AS REQUIRED TO COVER.

PAINT SCHEDULE

1. ALL PAINTS SHALL BE LATEX-BASED, AS INDICATED IN FINISH SCHEDULE. HOLLOW METAL DOORS AND FRAMES SHALL BE PAINTED WITH ENAMEL-BASED PAINT. NO SUBSTITUTIONS.
2. ALL UNFINISHED WALLBOARD INDICATED TO RECEIVE PAINT OR WALLCOVERING SHALL BE PRIMED WITH ONE (1) COAT SHERWIN-WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER.
3. ALL UNFINISHED PLYWOOD INDICATED TO RECEIVE PAINT SHALL BE PRIMED WITH ONE (1) COAT SHERWIN-WILLIAMS MULTI-PURPOSE LATEX PRIMER/SEALER.
4. ALL UNPAINTED CMU SURFACES INDICATED TO RECEIVE PAINT SHALL RECEIVE ONE COAT OF LATEX BASED INTERIOR/EXTERIOR BLOCK FILLER, THEN LATEX FINISH COATS AS NOTED ABOVE FOR TYPE OF SURFACE.
5. ALL UNPRIMED METAL SURFACES INDICATED TO RECEIVE PAINT, INCLUDING LINTELS AND HOLLOW METAL DOORS AND FRAMES, SHALL BE PRIMED WITH ONE (1) COAT RUST-INHIBITING PRIMER (BENJAMIN MOORE ALKYD ENAMEL UNDER BODY PRIMER). EXTERIOR LINTEL, DOOR & FRAME COLOR SHALL MATCH EXISTING EXTERIOR ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE.
6. ALL WALLS AND VERTICAL SURFACES OF SOFFITS AND HEADERS INDICATED TO RECEIVE PAINT SHALL RECEIVE MINIMUM OF TWO (2) COATS OF COLOR INDICATED ON PLAN. PAINT FINISH SHALL BE LOW-LUSTER EGGSHELL (OR SATIN) ACRYLIC LATEX, UNLESS NOTED OTHERWISE. PAINT WALLS [PT-1], UNLESS NOTED OTHERWISE.
7. ALL CEILINGS OR SOFFITS INDICATED TO RECEIVE PAINT SHALL RECEIVE MINIMUM OF TWO (2) COATS OF COLOR INDICATED ON PLAN. PAINT FINISH SHALL BE "FLAT" UNLESS NOTED OTHERWISE.
8. ALL INTERIOR HOLLOW METAL DOORS AND FRAMES INDICATED TO RECEIVE PAINT SHALL BE PAINTED AS NOTED IN FINISH SCHEDULE. SEE FINISH SCHEDULE ON DRAWING A0-1.
9. ALL MISCELLANEOUS METAL SURFACES SHOWN TO BE PAINTED SHALL RECEIVE MINIMUM OF TWO (2) COATS, ALKYD ENAMEL PAINT, FINISH SEMI-GLOSS, COLOR AS INDICATED.
10. PAINTS AND COATINGS SHALL COMPLY WITH THE FOLLOWING VOC LIMIT (GRAMS/LITER LESS WATER):
    - ARCHITECTURAL PAINTS, PRIMERS AND COATINGS - GREEN SEAL STANDARD GS-11, 1993.
    - FLATS: 50 G/L
    - NON-FLATS: 150 G/L
    - ANTI-RUST PAINTS - GREEN SEAL STANDARD GC-03, 1997
    - APPLIED TO FERROUS METAL: 250 G/L
    - CLEAR WOOD FINISHES, STAINS, SEALERS, SHELLACS - SCAQMD RULE 113, 2004
    - CLEAR WOOD FINISH:
    - VARNISH: 350 G/L
    - LACQUER: 550 G/L
    - WATERPROOF SEALERS: 250 G/L
    - SANDING SEALERS: 275 G/L
    - OTHER SEALERS: 200 G/L
    - STAINS: 250 G/L
11. PROVIDE PAINTS AS NOTED ON THE FINISH SCHEDULE. PAINTS MAY BE COLOR MATCHED. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS: BENJAMIN MOORE, DUNN EDWARDS, GLIDDEN, SHERWIN-WILLIAMS, ARCHITECT APPROVED EQUAL.

FINISH KEY

XX-X	DENOTES WALL FINISH U.N.O.
XX-X	DENOTES FLOOR FINISH
XX-X	DENOTES WALL BASE
← XX-X	DENOTES FINISH ON SPECIFIC SURFACE
(XX-X)	DENOTES FINISH ON REFERENCED SURFACE

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Project Name:

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ESWOOD SCHOOL

BUILDING IMPROVEMENTS - SUMMER 2023

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ESWOOD CCSD 269

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License: Illinois Registration No. 001-009496
Expires: 2022-11-30

Signature — Date: 2022-10-20

Drawing Title:
ENLARGED PLANS & DETAILS

Issue:/ Revision:

No.	Date	Description
-	2022-10-20	For Client Review

Project Manager: CRN
Project No.: 2022027 Date: 2022-10-20

A3-1

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A3-1 Enlarged Plans.dgn
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FLOORING TRANSITIONS

TRANSITIONS BETWEEN FLOORING MATERIALS SHALL OCCUR UNDER CENTERLINE OF DOOR AT ALL DOORWAYS, UNLESS NOTED OR SHOWN OTHERWISE.

CARPET TO VCT OR RESILIENT FLOORING: PROVIDE JOHNSONITE 55R-XX-S REDUCER IN BLACK.

CERAMIC TILE TO CARPET TILE: PROVIDE METAL SCHLUTER DECO TRANSITION IN ANODIZED ALUMINUM AT CARPET EDGE TO CERAMIC TILE - LATEX FLOOR UNDER CARPET FOR SMOOTH TRANSITIONS.

CERAMIC TILE TO BROADLOOM CARPET: PROVIDE METAL SCHLUTER RENO-V TRANSITION IN ANODIZED ALUMINUM AT CARPET EDGE TO CERAMIC TILE.

CERAMIC TILE TO VCT OR RESILIENT FLOORING: PROVIDE METAL SCHLUTER RENO-U TRANSITION IN ANODIZED ALUMINUM. LATEX FLOOR FOR SMOOTH TRANSITION AS REQUIRED.

RESILIENT FLOORING NOTES

1. CONTRACTOR SHALL INSTALL RESILIENT FLOORING PER MANUFACTURER'S RECOMMENDATIONS USING MANUFACTURER'S RECOMMENDED ADHESIVES, LEVELING COMPOUNDS, ETC. FOR TYPE OF APPLICATION AND SUBSTRATE. DO NOT USE ADHESIVES HAVING A VOC CONTENT ABOVE 50 G/L (WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D).
2. CLEAN AND SEAL RESILIENT FLOORING PER MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR COMMERCIAL HIGH TRAFFIC AREAS.
3. POLISH RESILIENT FLOORING ONLY WHEN RECOMMENDED BY MANUFACTURER FOR COMMERCIAL HIGH TRAFFIC AREAS.

CARPET NOTES

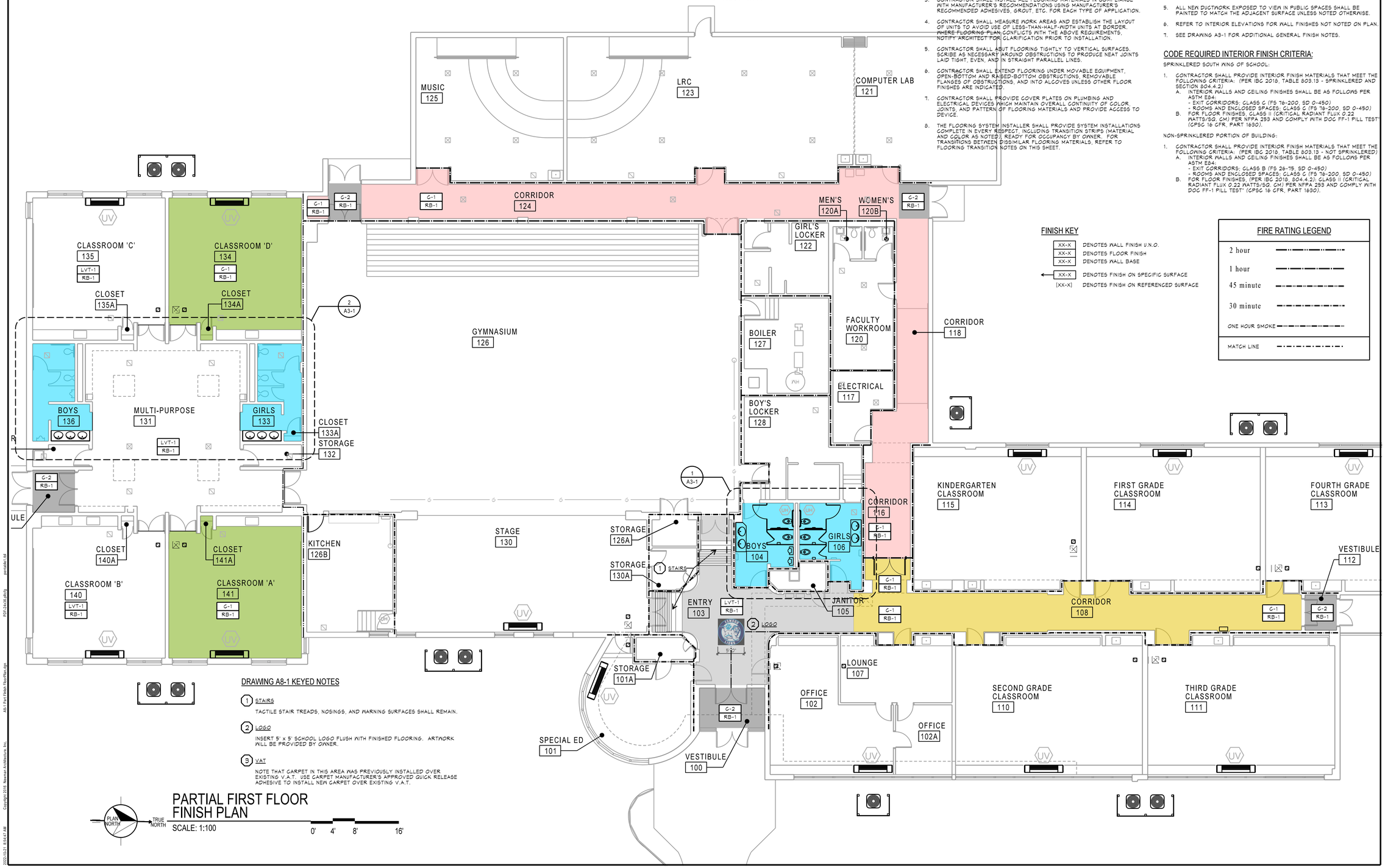
1. PROVIDE MANUFACTURER'S RECOMMENDED ADHESIVES FOR CARPET INSTALLATION PRODUCED EXPRESSLY FOR USE WITH SELECTED CARPET ON ACTUAL SUBSTRATE. PROVIDE MATERIALS WHICH ARE MILDEW RESISTANT AND COMPLY WITH FLAMMABILITY REQUIREMENTS FOR INSTALLED CARPET. DO NOT USE ADHESIVES HAVING A VOC CONTENT GREATER THAN 50 G/L (WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D).
2. PROVIDE MANUFACTURER'S SPECIAL WARRANTY ON CARPET IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF CARPET INSTALLATION THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN 10 YEARS FROM SUBSTANTIAL COMPLETION. WARRANTY DOES NOT INCLUDE DETERIORATION OR FAILURE OF CARPET DUE TO UNUSUAL TRAFFIC, FAILURE OF SUBSTRATE, VANDALISM OR ABUSE. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, MORE THAN 10% LOSS OF FACE FIBER, EDGE RAVELING, SNAGS, RUNS, DELAMINATION AND OTHER RELATED FAILURES.
3. CUT AND FIT CARPET TO BUTT TIGHTLY TO VERTICAL SURFACES AND PERMANENT ITEMS. BIND OR SEAL CUT EDGES AS RECOMMENDED BY CARPET MANUFACTURER.
4. CLEAN CARPET PER MANUFACTURER'S WRITTEN RECOMMENDATIONS, READY FOR USE BY TENANT.

GENERAL FLOORING NOTES

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS REQUIRED FOR FLOORING WORK INDICATED ON THE DRAWINGS. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FLOORING COMPONENTS AND INSTALL FLOORING COMPONENTS IN COMPLIANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. FLOOR SUBSTRATE SHALL BE FREE FROM DEFECTS OR DEFORMITIES THAT NEGATIVELY IMPACT THE FLOOR INSTALLATION AND FINISHED APPEARANCE.
2. CONTRACTOR SHALL COMPLETE MOISTURE TESTS ON SUBSTRATES PER FLOORING SYSTEM MANUFACTURER'S RECOMMENDATIONS PRIOR TO BEGINNING FLOOR PREPARATIONS.

   AT EXISTING SLABS-ON-GRADE:
   - TEST SLAB USING IN-SITU PROBES PER ASTM F 2170-11.
   - REVIEW SLAB SURFACE AND NOTIFY THE ARCHITECT IF AN EXISTING SURFACE BARRIER SYSTEM EXISTS.

   TEST RESULTS MUST COMPLY WITH MANUFACTURERS WRITTEN REQUIREMENTS PRIOR TO INSTALLING NEW FLOORING PRODUCTS. SUBMIT FINAL RECORD TEST RESULTS TO ARCHITECT.
3. CONTRACTOR SHALL INSTALL ALL FLOORING MATERIALS IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS USING MANUFACTURER'S RECOMMENDED ADHESIVES, GROUT, ETC. FOR EACH TYPE OF APPLICATION.
4. CONTRACTOR SHALL MEASURE WORK AREAS AND ESTABLISH THE LAYOUT OF UNITS TO AVOID USE OF LESS-THAN-HALF-WIDTH UNITS AT BORDER. WHERE FLOORING PLAN CONFLICTS WITH THE ABOVE REQUIREMENTS, NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.
5. CONTRACTOR SHALL ABUT FLOORING TIGHTLY TO VERTICAL SURFACES. SCRIBE AS NECESSARY AROUND OBSTRUCTIONS TO PRODUCE NEAT JOINTS LAID TIGHT, EVEN, AND IN STRAIGHT PARALLEL LINES.
6. CONTRACTOR SHALL EXTEND FLOORING UNDER MOVABLE EQUIPMENT, OPEN-BOTTOM AND RAISED-BOTTOM OBSTRUCTIONS, REMOVABLE FLANGES OF OBSTRUCTIONS, AND INTO ALCOVES UNLESS OTHER FLOOR FINISHES ARE INDICATED.
7. CONTRACTOR SHALL PROVIDE COVER PLATES ON PLUMBING AND ELECTRICAL DEVICES WHICH MAINTAIN OVERALL CONTINUITY OF COLOR, JOINTS, AND PATTERN OF FLOORING MATERIALS AND PROVIDE ACCESS TO DEVICE.
8. THE FLOORING SYSTEM INSTALLER SHALL PROVIDE SYSTEM INSTALLATIONS COMPLETE IN EVERY RESPECT, INCLUDING TRANSITION STRIPS (MATERIAL AND COLOR AS NOTED), READY FOR OCCUPANCY BY OWNER. FOR TRANSITIONS BETWEEN DISSIMILAR FLOORING MATERIALS, REFER TO FLOORING TRANSITION NOTES ON THIS SHEET.



DRAWING A8-1 KEYED NOTES

1. STAIRS
   TACTILE STAIR TREADS, NOSINGS, AND WARNING SURFACES SHALL REMAIN.
2. LOGO
   INSERT 5' x 5' SCHOOL LOGO FLUSH WITH FINISHED FLOORING. ARTWORK WILL BE PROVIDED BY OWNER.
3. VAT
   NOTE THAT CARPET IN THIS AREA WAS PREVIOUSLY INSTALLED OVER EXISTING V.A.T. USE CARPET MANUFACTURER'S APPROVED QUICK RELEASE ADHESIVE TO INSTALL NEW CARPET OVER EXISTING V.A.T.

PARTIAL FIRST FLOOR FINISH PLAN

SCALE: 1:100

0' 4' 8' 16'

GENERAL FINISH PLAN NOTES

GENERAL FINISH NOTES

1. CONTRACTOR SHALL VERIFY WITH PRODUCT MANUFACTURERS THAT ALL FINISH MATERIALS COMPLY WITH CODE REQUIRED INTERIOR FINISH CRITERIA NOTED BELOW.
2. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, AND MEET ALL INDUSTRY STANDARDS AND REQUIREMENTS.
3. ALL NEW ELECTRICAL OUTLETS, DEVICES AND COVER PLATES SHALL BE COMMERCIAL GRADE DEVICES THAT MATCH EXISTING BUILDING STANDARD.
4. NEW CONDUIT SHALL NOT BE RUN EXPOSED WITHOUT THE PRIOR ACCEPTANCE OF THE ARCHITECT. WHEN ALLOWED BY THE ARCHITECT, EXPOSED CONDUIT/SURFACE MOUNTED RACEWAYS SHALL BE RUN SQUARE AND PLUMB WITH BUILDING COMPONENTS. PAINT TO MATCH THE ADJACENT SURFACE UNLESS NOTED OTHERWISE.
5. ALL NEW PICTWORK EXPOSED TO VIEW IN PUBLIC SPACES SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE UNLESS NOTED OTHERWISE.
6. REFER TO INTERIOR ELEVATIONS FOR WALL FINISHES NOT NOTED ON PLAN.
7. SEE DRAWING A8-1 FOR ADDITIONAL GENERAL FINISH NOTES.

CODE REQUIRED INTERIOR FINISH CRITERIA:

SPRINKLERED SOUTH WING OF SCHOOL:

1. CONTRACTOR SHALL PROVIDE INTERIOR FINISH MATERIALS THAT MEET THE FOLLOWING CRITERIA: (PER IBC 2018, TABLE 803.13 - SPRINKLERED AND SECTION 804.4.2)
   A. INTERIOR WALLS AND CEILING FINISHES SHALL BE AS FOLLOWS PER ASTM E84:
      - EXIT CORRIDORS: CLASS C (FS 76-200, SD 0-450)
      - ROOMS AND ENCLOSED SPACES: CLASS C (FS 76-200, SD 0-450)
   B. FOR FLOOR FINISHES, CLASS II (CRITICAL RADIANT FLUX 0.22 WATTS/SQ. CM) PER NFPA 253 AND COMPLY WITH DOC FF-1 PILL TEST (CPSC 16 CFR, PART 1630).

NON-SPRINKLERED PORTION OF BUILDING:

1. CONTRACTOR SHALL PROVIDE INTERIOR FINISH MATERIALS THAT MEET THE FOLLOWING CRITERIA: (PER IBC 2018, TABLE 803.13 - NOT SPRINKLERED)
   A. INTERIOR WALLS AND CEILING FINISHES SHALL BE AS FOLLOWS PER ASTM E84:
      - EXIT CORRIDORS: CLASS B (FS 26-75, SD 0-450)
      - ROOMS AND ENCLOSED SPACES: CLASS C (FS 76-200, SD 0-450)
   B. FOR FLOOR FINISHES, (PER IBC 2018, 804.4.2): CLASS II (CRITICAL RADIANT FLUX 0.22 WATTS/SQ. CM) PER NFPA 253 AND COMPLY WITH DOC FF-1 PILL TEST (CPSC 16 CFR, PART 1630).

FINISH KEY

XX-X	DENOTES WALL FINISH U.N.O.
XX-X	DENOTES FLOOR FINISH
XX-X	DENOTES WALL BASE
← XX-X	DENOTES FINISH ON SPECIFIC SURFACE
(XX-X)	DENOTES FINISH ON REFERENCED SURFACE

FIRE RATING LEGEND

2 hour	
1 hour	
45 minute	
30 minute	
ONE HOUR SMOKE	
MATCH LINE	

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Project Name:

CONSTRUCTION DOCUMENTS

ESWOOD SCHOOL

BUILDING IMPROVEMENTS - SUMMER 2023

ESWOOD ELEMENTARY SCHOOL
304 N. MAIN STREET
LINDENWOOD, ILLINOIS 61049

FOR
BOARD OF EDUCATION
ESWOOD CCSD 269

Architect's Certification:

NOT FOR CONSTRUCTION

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Expires: 2023-04-30
License: Illinois Registration No. 001-009496
Expires: 2022-11-30

Signature Date 2022-10-20

Drawing Title:
PARTIAL FIRST FLOOR FINISH PLAN

Issue/ Revision:

No.	Date	Description
-	2022-10-20	For Client Review

Project Manager: CRN
Project No.: 2022027 Date: 2022-10-20

A8-1

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A8-1 Part Finish FloorPlan.dgn
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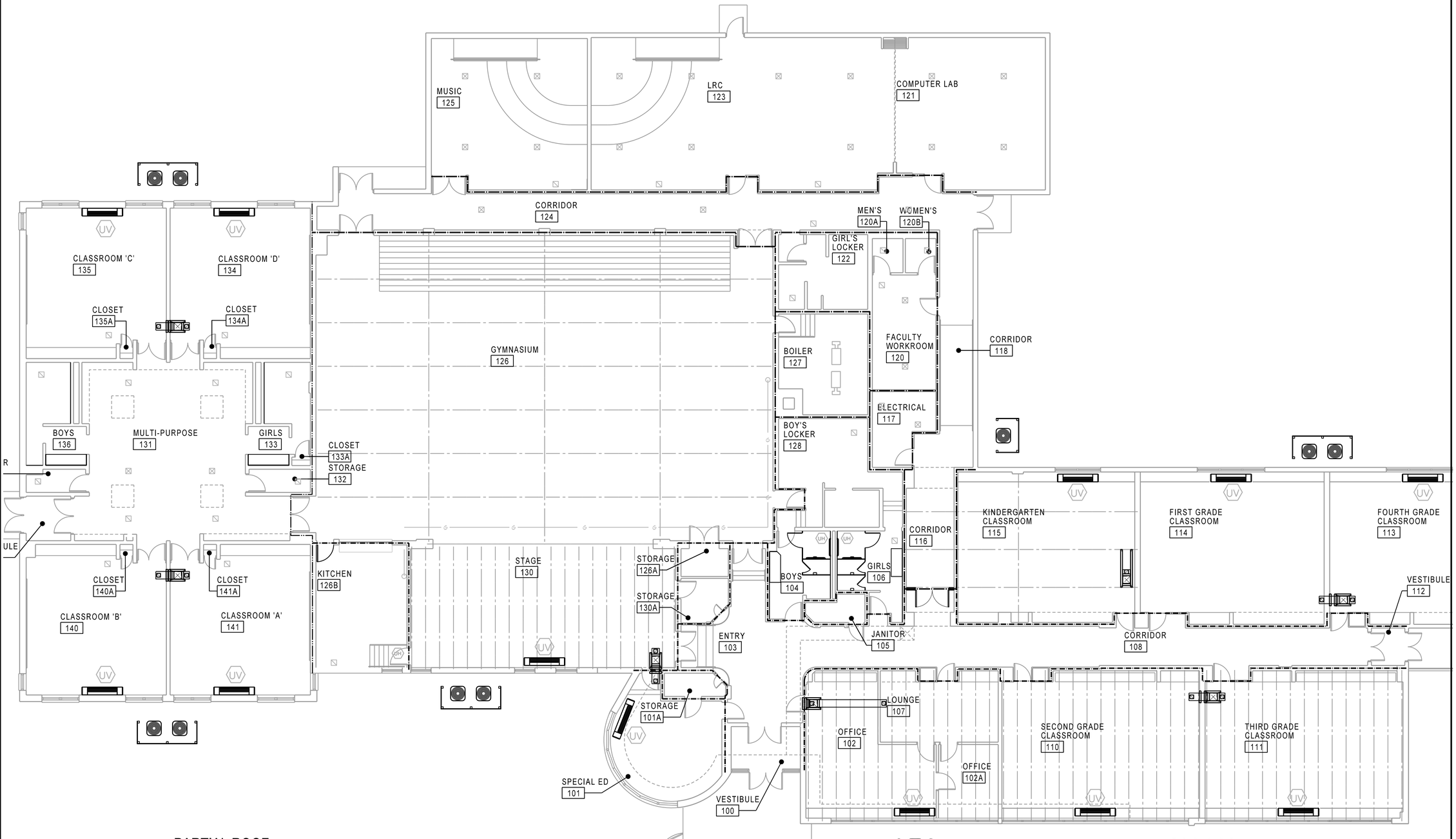
DRAWING S2-1 KEYED NOTES



PARTIAL ROOF FRAMING PLAN
SCALE: 1:100

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BUILDING IMPROVEMENTS - SUMMER 2023

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Expires: 2022-11-30

Signature 2022-10-20 Date

Drawing Title:
PARTIAL ROOF FRAMING PLAN

Issue:/ Revision:

No.	Date	Description
-	2022-10-20	For Client Review

Project Manager: CRN
Project No.: 2022027 Date: 2022-10-20

S2-1

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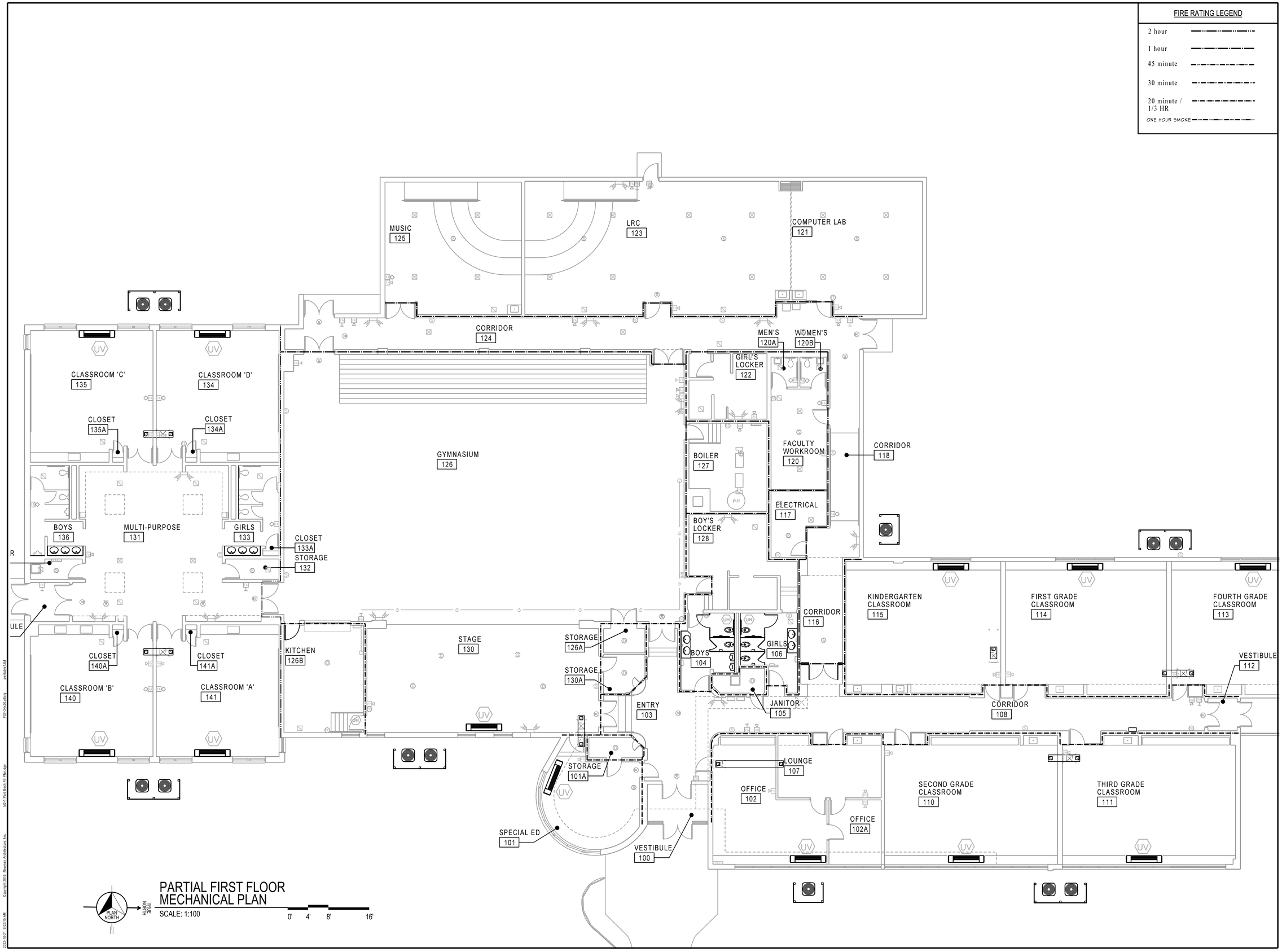

PARTIAL FIRST FLOOR MECHANICAL PLAN
SCALE: 1:100

FIRE RATING LEGEND

- 2 hour
- 1 hour
- 45 minute
- 30 minute
- 20 minute / 1/3 HR
- ONE HOUR SMOKE

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Project Name:

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PARTIAL FIRST FLOOR MECHANICAL PLAN

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M2-1

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